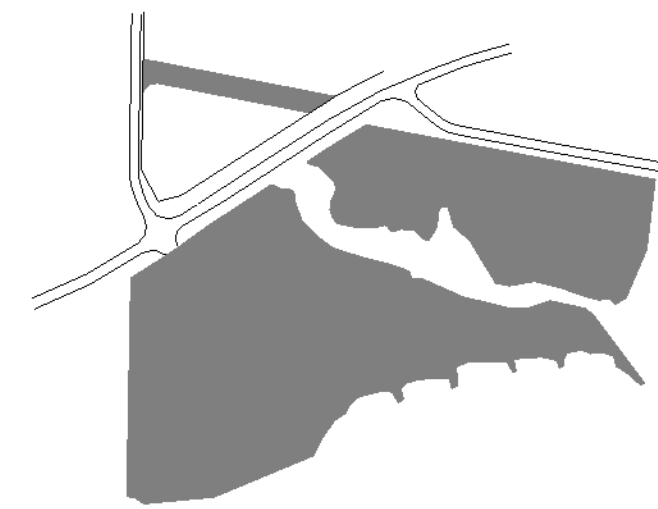
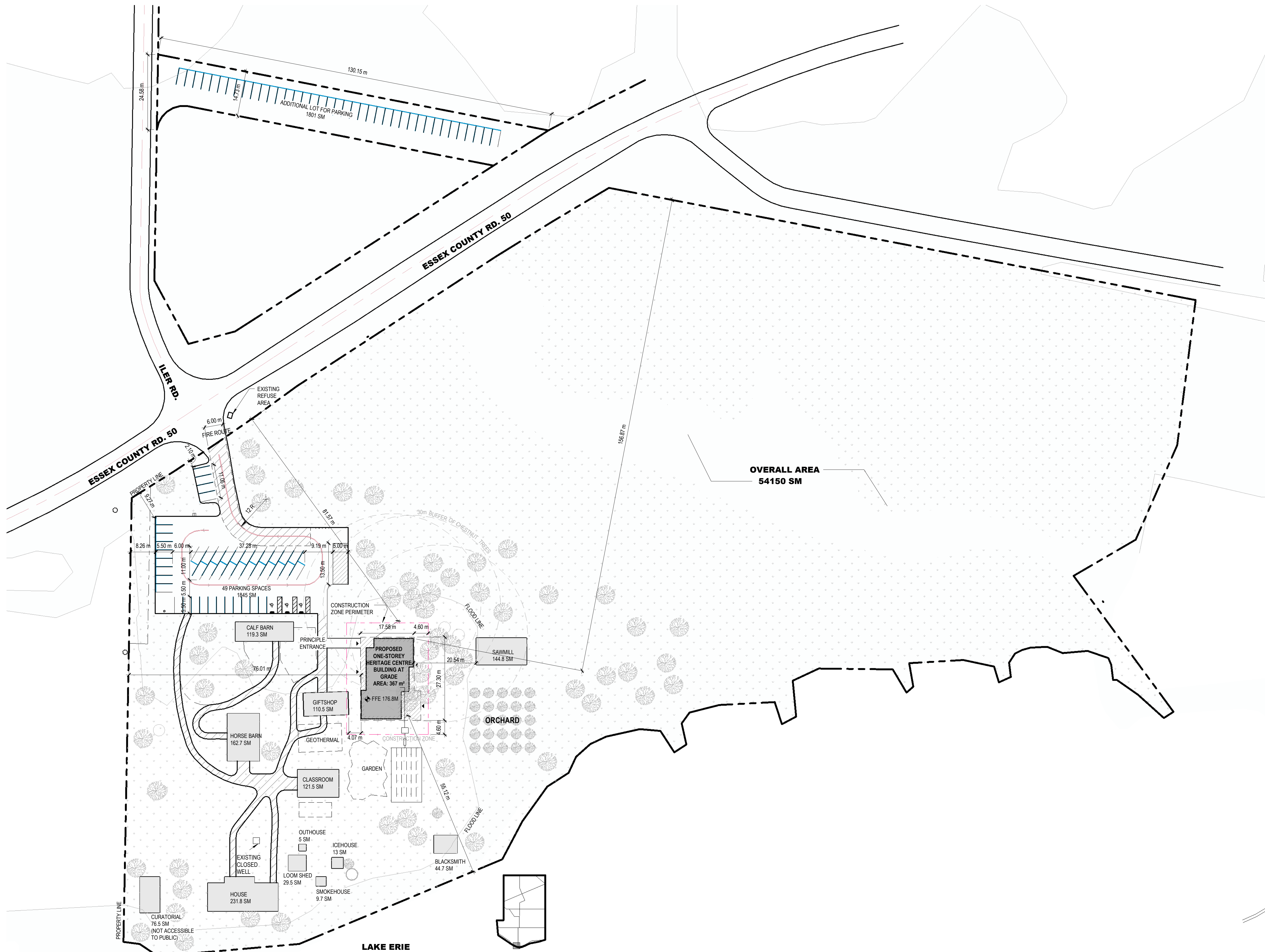
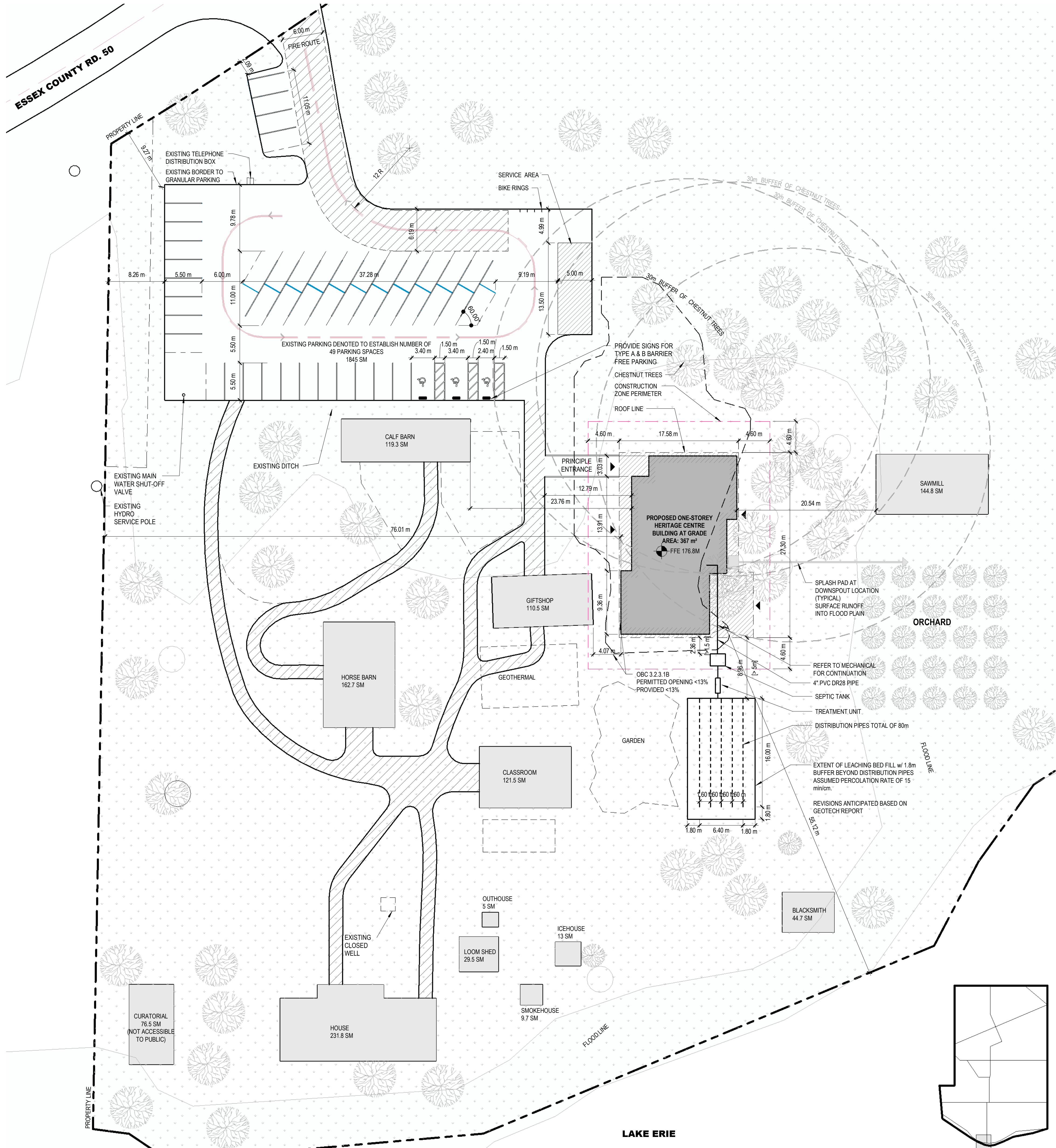


**ARCHITECTURAL SITE PLAN OVERALL**  
SCALE: 1" = 600'



THIS LINE IS 4" LONG





ZONING CHART - THE CORPORATION OF THE TOWN OF ESSEX BY-LAW NO.1037

No.	DESCRIPTION	REQUIRED	PROVIDED	BY-LAW REF.	ADDITIONAL NOTES
1.	ZONING CLASSIFICATION	A1.2	A1.2	13.2	
2.	PERMITTED USE	COMMUNITY CENTRE	COMMUNITY CENTRE	S28.1.16	
3.	MINIMUM LOT AREA	AS EXISTING	EXISTING	13.2.II	
4.	MINIMUM LOT WIDTH	30m	>30m	13.2.I	
5.	SETBACK - FRONT YARD	15m MINIMUM	71m	13.2.V	
6.	SETBACK - SIDE YARD	3m MINIMUM - INTERIOR 15m MINIMUM - EXTERIOR	74m INTERIOR 155.6m EXTERIOR	13.2.VII	
7.	SETBACK - REAR YARD	15m MINIMUM	73.86m	13.2.VI	
8.	LOT COVERAGE	25% OF LOT AREA	2.59%	13.2.III	ALL BLDGS COMBINED
9.	LANDSCAPED AREA	N/A	N/A	N/A	N/A
10.	BUILDING HEIGHT	10m MAXIMUM	8.6m	13.2.IV	
11.	PARKING SPACE - SIZE	5.5m MINIMUM L 2.75m MINIMUM W	62.9m L 26.4m W	11.2	SITE VERIFY
12.	PARKING SPACES	25 SPACES	49 SPACES	11.5	
	PROPOSED HERITAGE CENTRE	1/90m2 GFA - 04 SPACES			
	HOUSE	1/90m2 GFA - 03 SPACES			
	LOOM SHED	1/90m2 GFA - 01 SPACE			
	SMOKE HOUSE	1/90m2 GFA - 01 SPACE			
	ICEHOUSE	1/90m2 GFA - 01 SPACE			
	OUTHOUSE	1/90m2 GFA - 01 SPACE			
	BLACKSMITH	1/90m2 GFA - 01 SPACE			
	CLASSROOM	1/36m2 GFA - 04 SPACES			
	HORSE BARN	1/90m2 GFA - 02 SPACES			
	GIFT SHOP	1/22.5m2 GFA - 05 SPACES			
	CALF BARN	1/90m2 GFA - 01 SPACE			
	SAWMILL	1/90m2 GFA - 02 SPACES			

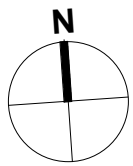
LEGEND

	LANDSCAPING (SEE LANDSCAPE DRAWINGS)		ASPHALT SURFACE		EXISTING BUILDING COVERAGE
	CONCRETE SURFACE		NEW BUILDING COVERAGE		

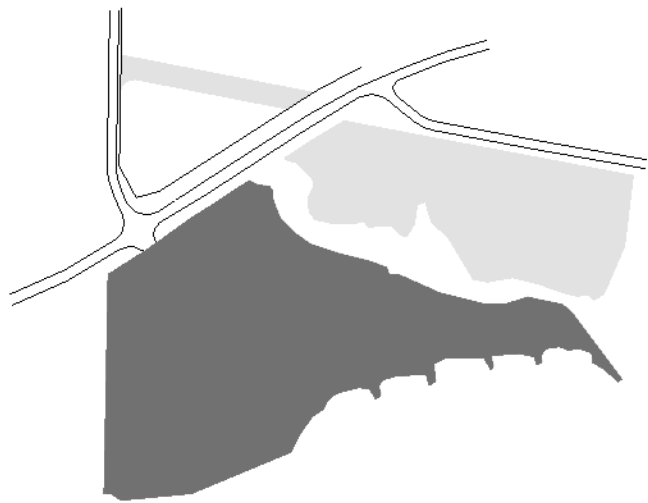
B.F. - "BARRIER FREE PARKING" SIGN  
F.R. - "FIRE-ROUTE - NO PARKING" SIGN  
B.D.O. - "BUS DROP OFF ZONE" SIGN  
S.S. - "STOP" SIGN

REFER TO PLAN FOR LOCATION OF ALL SIGNAGE  
(REVIEW w/ ARCHITECT PRIOR TO FINAL PLACEMENT)

- NOTES:
1. REFER TO CIVIL DRAWINGS FOR ALL PAVEMENT MATERIAL PROFILES AND BASE MATERIALS
  2. REFER TO LANDSCAPE PLAN FOR LANDSCAPE INFORMATION.
  3. REFER TO CIVIL DRAWINGS FOR ALL PROPOSED GRADES.
  4. ALL CONCRETE APRONS AT EXTERIOR DOOR OPENINGS TO MEET FLUSH (BARRIER FREE).
  5. PROVIDE BARRIER FREE CURB DROPS WHERE SIDEWALKS MEET ASPHALT PAVEMENT.

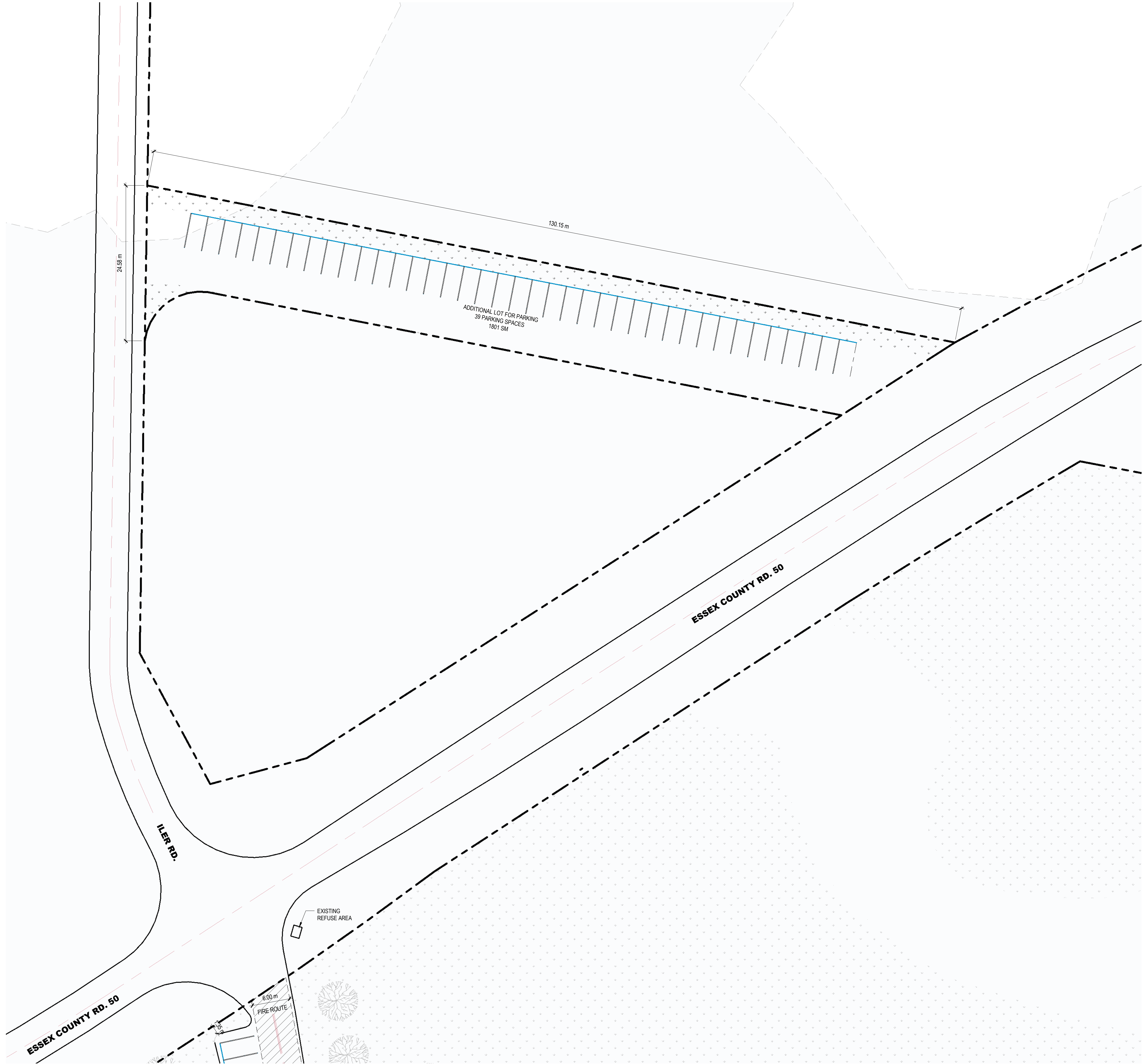


ARCHITECTURAL SITE PLAN 01  
SCALE: 1:300



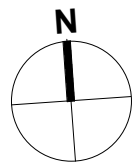
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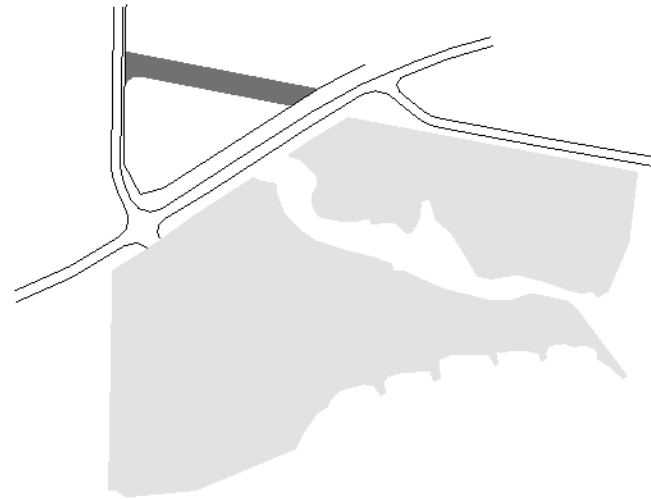


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ZONING CHART - THE CORPORATION OF THE TOWN OF ESSEX BY-LAW NO.1037					
No.	DESCRIPTION	REQUIRED	PROVIDED	BY-LAW REF.	ADDITIONAL NOTES
1.	ZONING CLASSIFICATION	W1.1		25.1	
2.	PERMITTED USE	WETLAND	ACCESSORY TO MAIN USE	25.1.A.III	
3.	MINIMUM LOT AREA	AS EXISTING	EXISTING	25.1.B.I	
4.	MINIMUM LOT WIDTH	N/A	N/A	N/A	N/A
5.	SETBACK - FRONT YARD	N/A	N/A	N/A	N/A
6.	SETBACK - SIDE YARD	N/A	N/A	N/A	N/A
7.	SETBACK - REAR YARD	N/A	N/A	N/A	N/A
8.	LOT COVERAGE	N/A	N/A	N/A	N/A
9.	LANDSCAPED AREA	N/A	N/A	N/A	N/A
10.	BUILDING HEIGHT	N/A	N/A	N/A	N/A
11.	PARKING SPACE - SIZE				
12.	PARKING SPACES				
LEGEND					
<div><div><div>LANDSCAPING (SEE LANDSCAPE DRAWINGS)</div><div>CONCRETE SURFACE</div></div><div><div>ASPHALT SURFACE</div><div>NEW BUILDING COVERAGE</div></div><div><div>EXISTING BUILDING COVERAGE</div></div></div> <div><div>B.F. - "BARRIER FREE PARKING" SIGN F.R. - "FIRE-ROUTE - NO PARKING" SIGN B.D.O. - "BUS DROP OFF ZONE" SIGN S.S. - "STOP" SIGN  REFER TO PLAN FOR LOCATION OF ALL SIGNAGE (REVIEW w/ ARCHITECT PRIOR TO FINAL PLACEMENT)</div><div><div>NOTES: 1. REFER TO CIVIL DRAWINGS FOR ALL PAVEMENT MATERIAL PROFILES AND BASE MATERIALS 2. REFER TO LANDSCAPE PLAN FOR LANDSCAPE INFORMATION. 3. REFER TO CIVIL DRAWINGS FOR ALL PROPOSED GRADES. 4. ALL CONCRETE APRONS AT EXTERIOR DOOR OPENINGS TO MEET FLUSH (BARRIER FREE). 5. PROVIDE BARRIER FREE CURB DROPS WHERE SIDEWALKS MEET ASPHALT PAVEMENT.</div></div></div>					



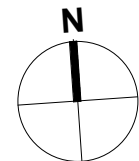
ARCHITECTURAL SITE PLAN 02  
SCALE: 1 : 300



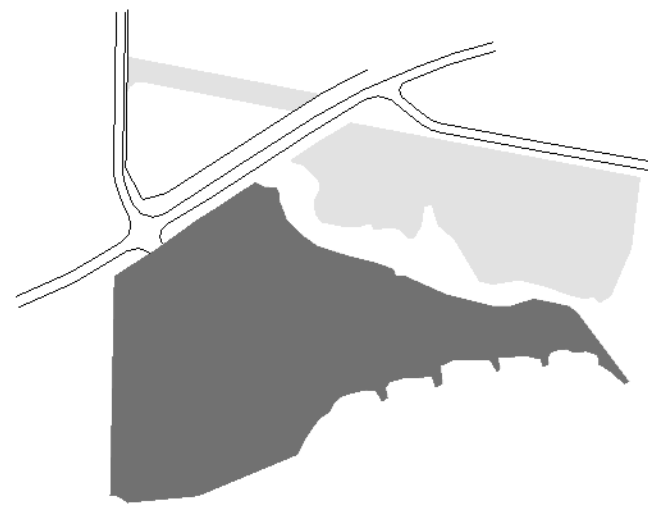




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ARCHITECTURAL SITE PLAN W/AERIAL 01  
SCALE: 1 : 300



THIS LINE IS 4' LONG

This drawing is not to be used for construction unless it is countersigned by the Project Architect

Issued For (YMMGD)

Date

Revision Schedule  
Description

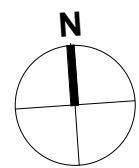
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ARCHITECTURAL SITE PLAN  
W/AERIAL 01

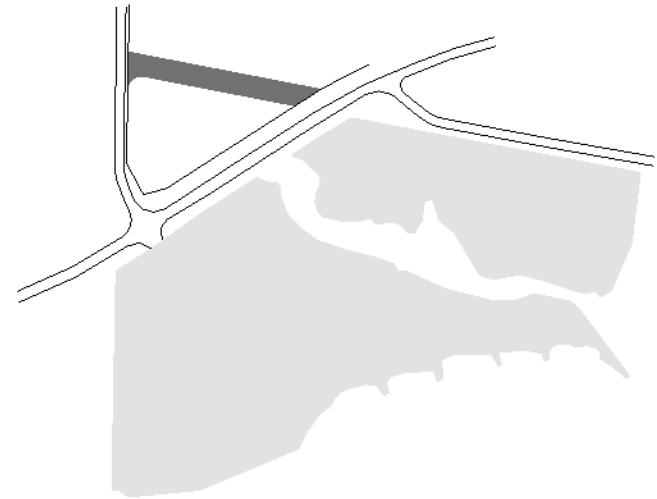
ESSEX REGION CONSERVATION AUTHORITY  
John R. Park Heritage Centre  
915 Essex County Rd 50, Essex, ON N0R 1G0

Drawn By AI  
Checked By AI  
Project No 2020  
Sheet No





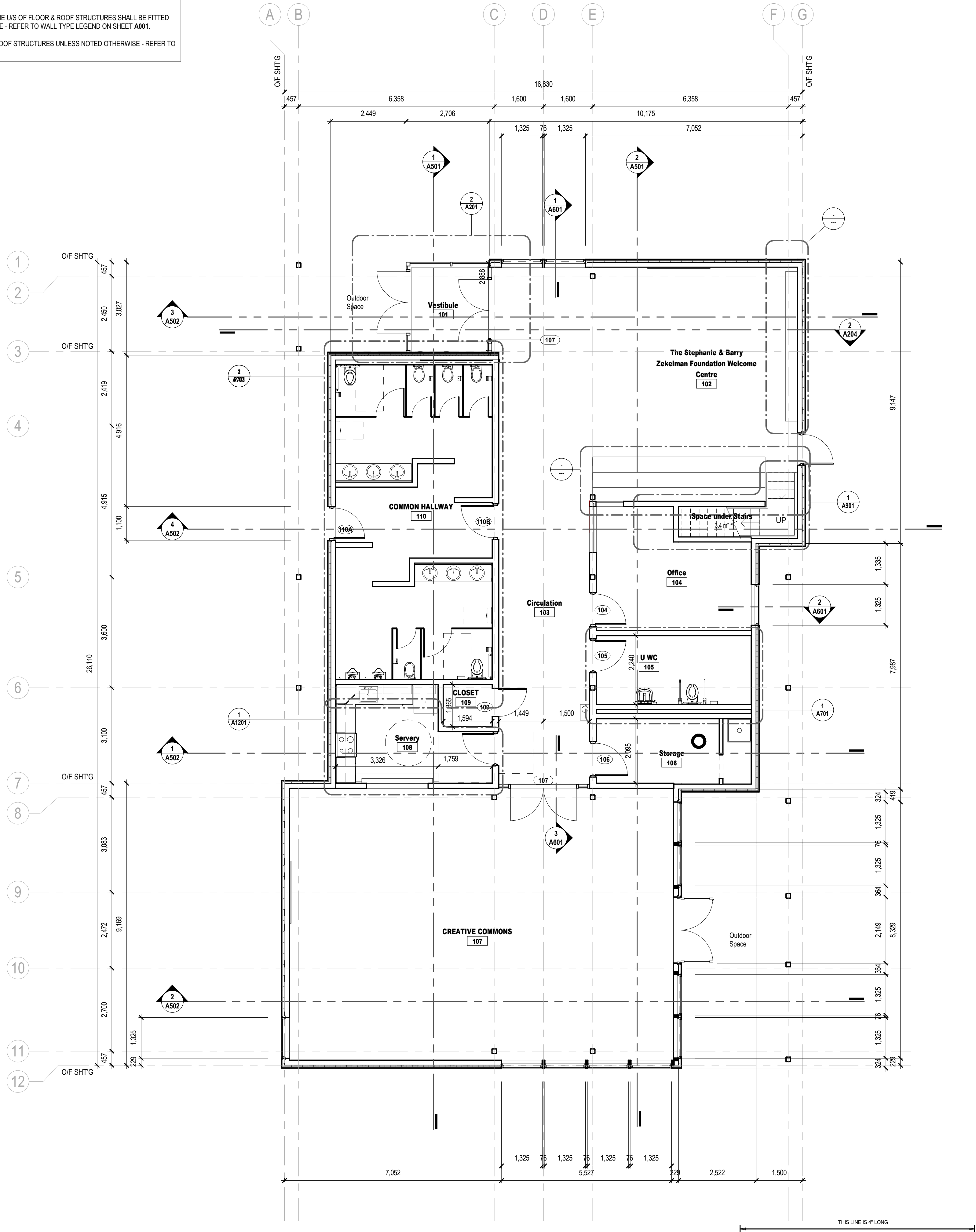
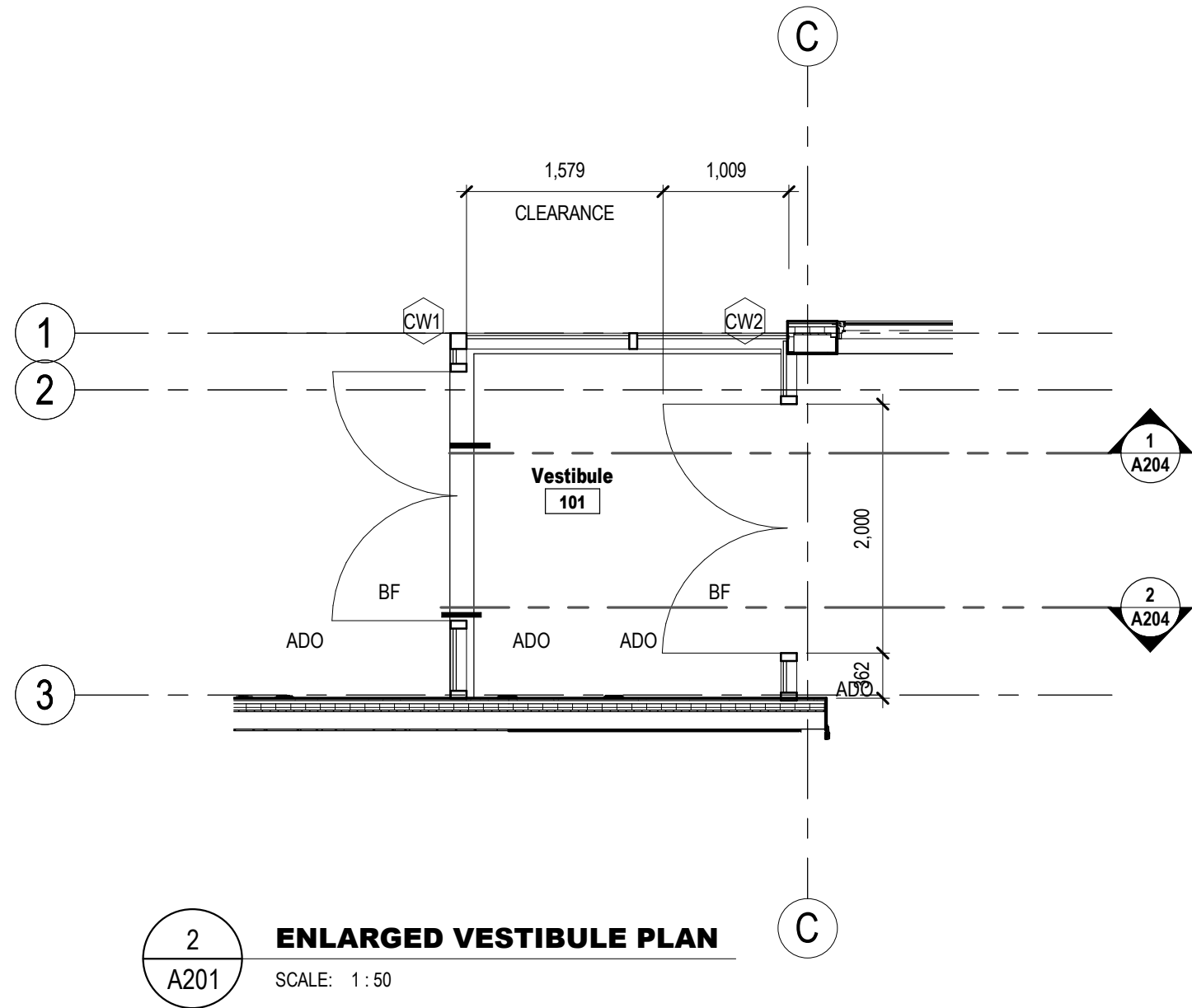
**ARCHITECTURAL SITE PLAN W/AERIAL 02**  
SCALE: 1:300



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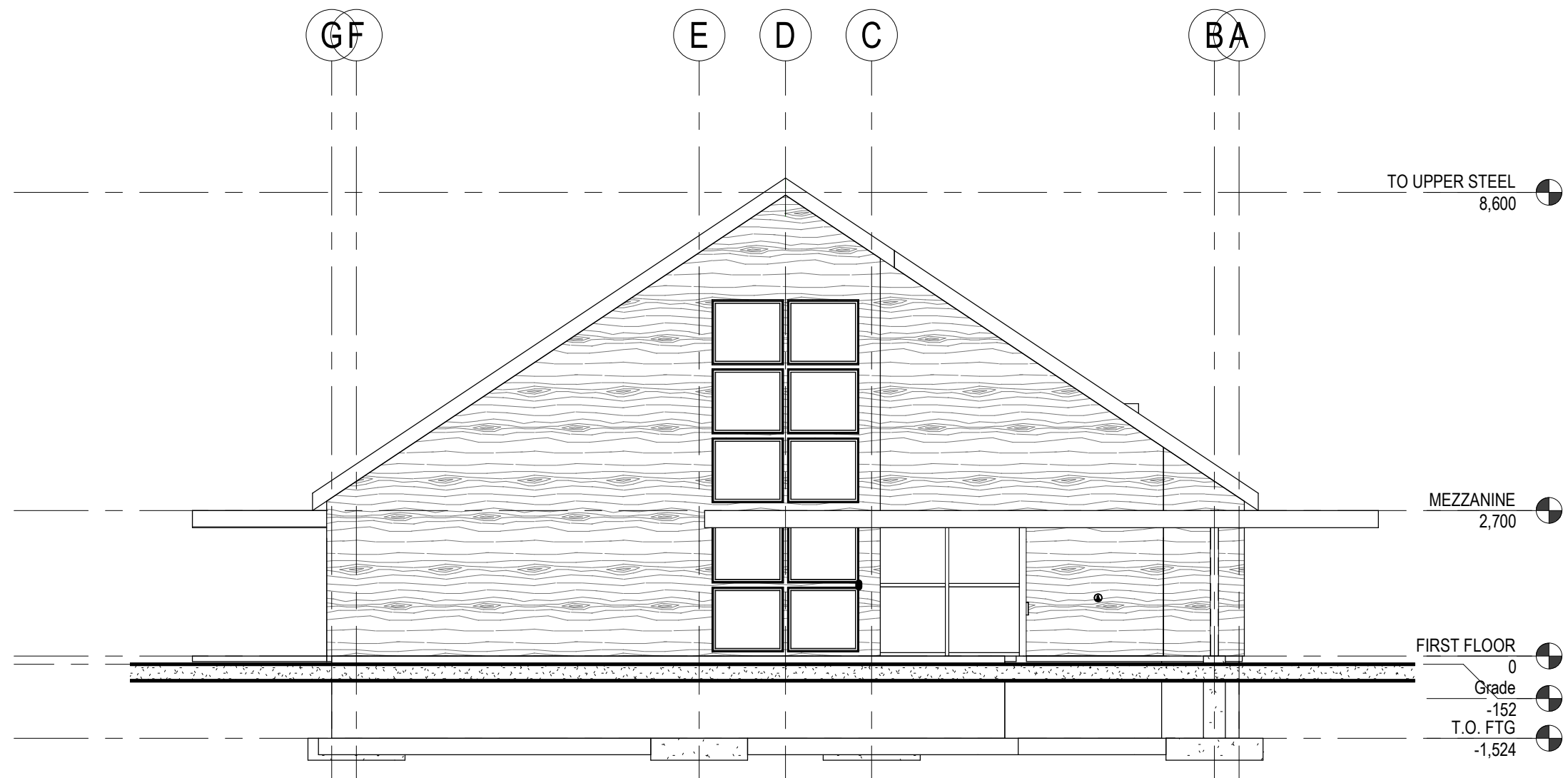


- FLOOR PLAN - GENERAL NOTES**
1. FLOOR PLAN DIMENSIONS WITH A \* \* \* PREFIX DENOTE A REFERENCE TO THE FACE OF FOUNDATION WALL (BOTH INTERIOR & EXTERIOR OF FOUNDATION).
  2. FLOOR PLAN DIMENSIONS WITH A \* +/- \* PREFIX ARE VARIABLE & SHALL BE LAID OUT SECONDARY TO FIXED NON-VARIABLE DIMENSIONS.
  3. ALL METAL STUD WALLS REQUIRED TO EXTEND TO THE U/S OF FLOOR & ROOF STRUCTURES SHALL BE FITTED WITH A DEFLECTION TRACK. UNLESS NOTED OTHERWISE - REFER TO WALL TYPE LEGEND ON SHEET A001.
  4. ALL WALLS SHALL EXTEND TO THE U/S OF FLOOR & ROOF STRUCTURES UNLESS NOTED OTHERWISE - REFER TO WALL TYPE LEGEND ON SHEET A001.

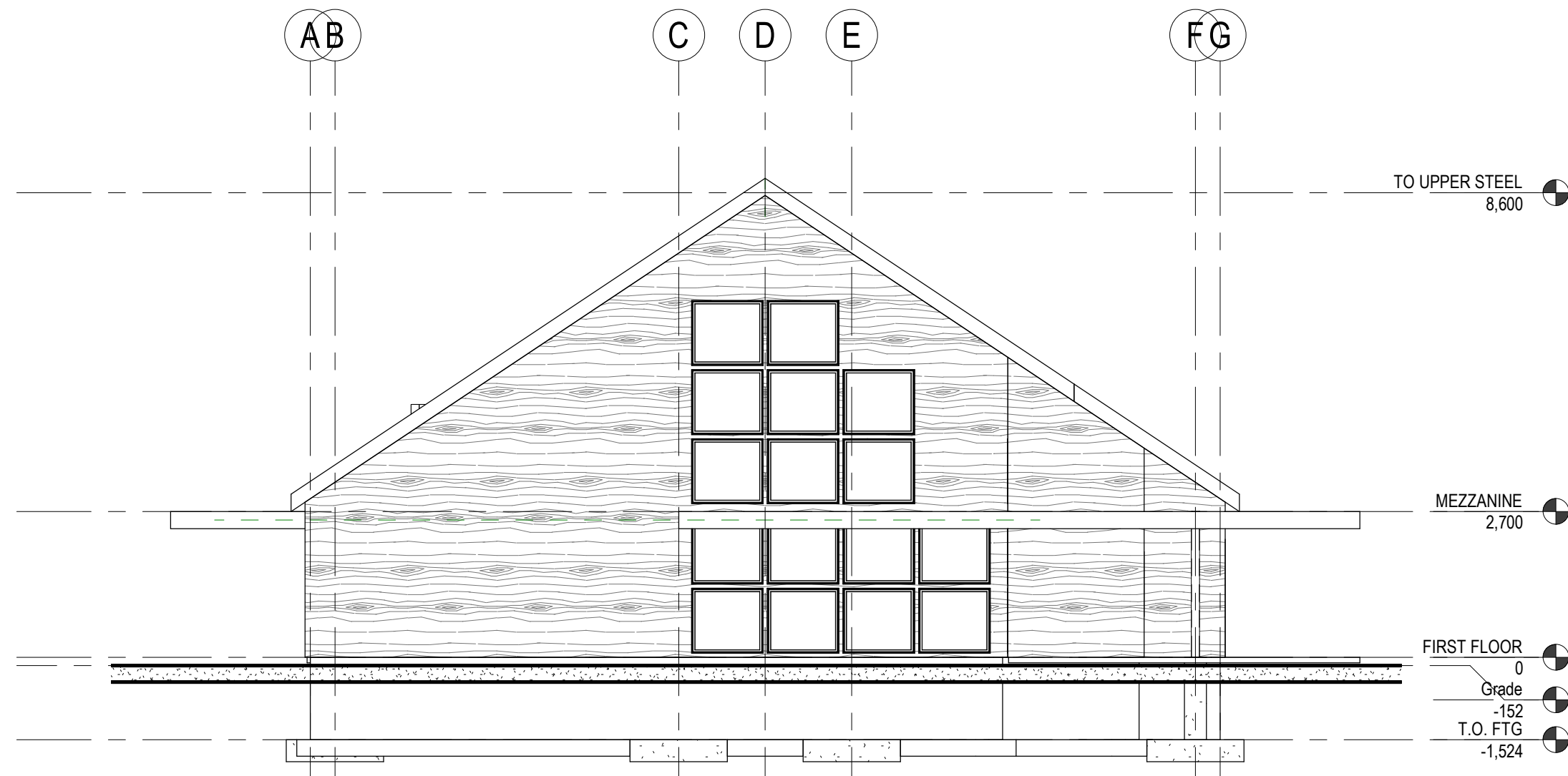


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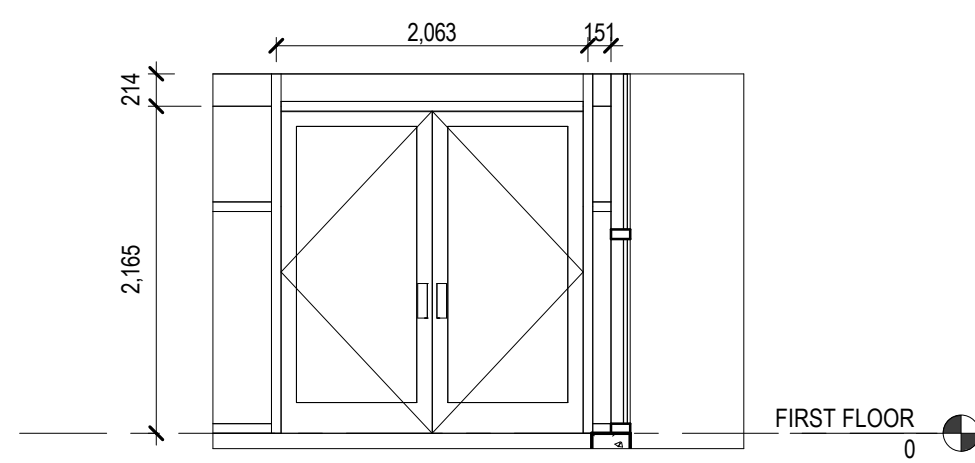
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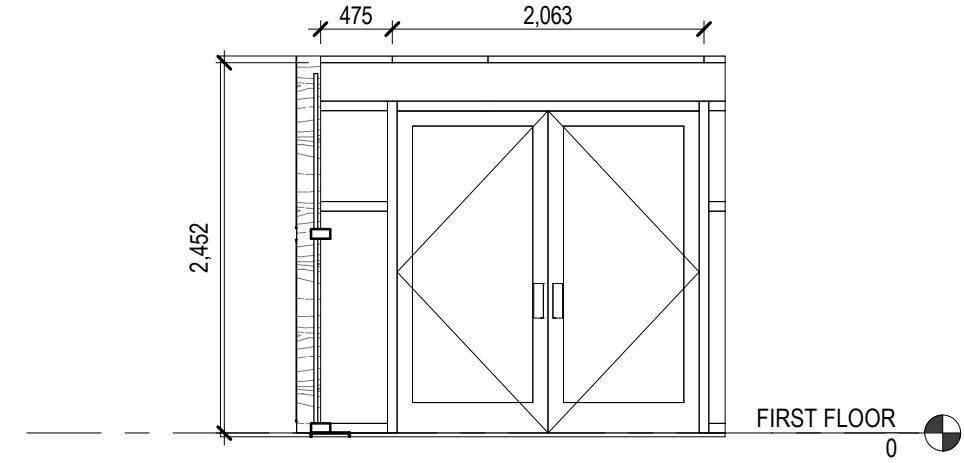
1 NORTH ELEVATION  
SCALE: 1:100



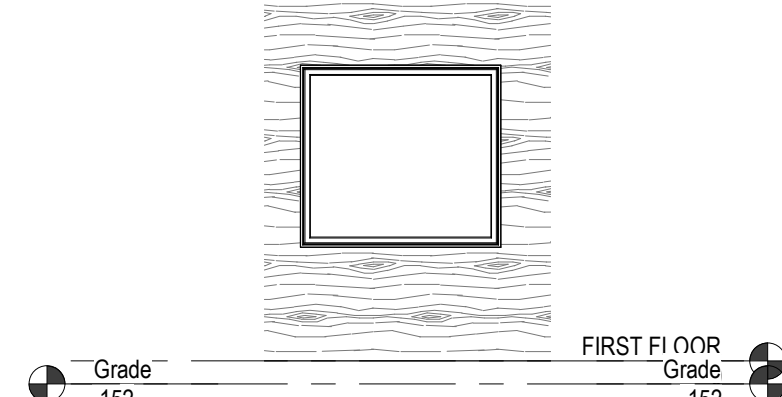
3 SOUTH ELEVATION  
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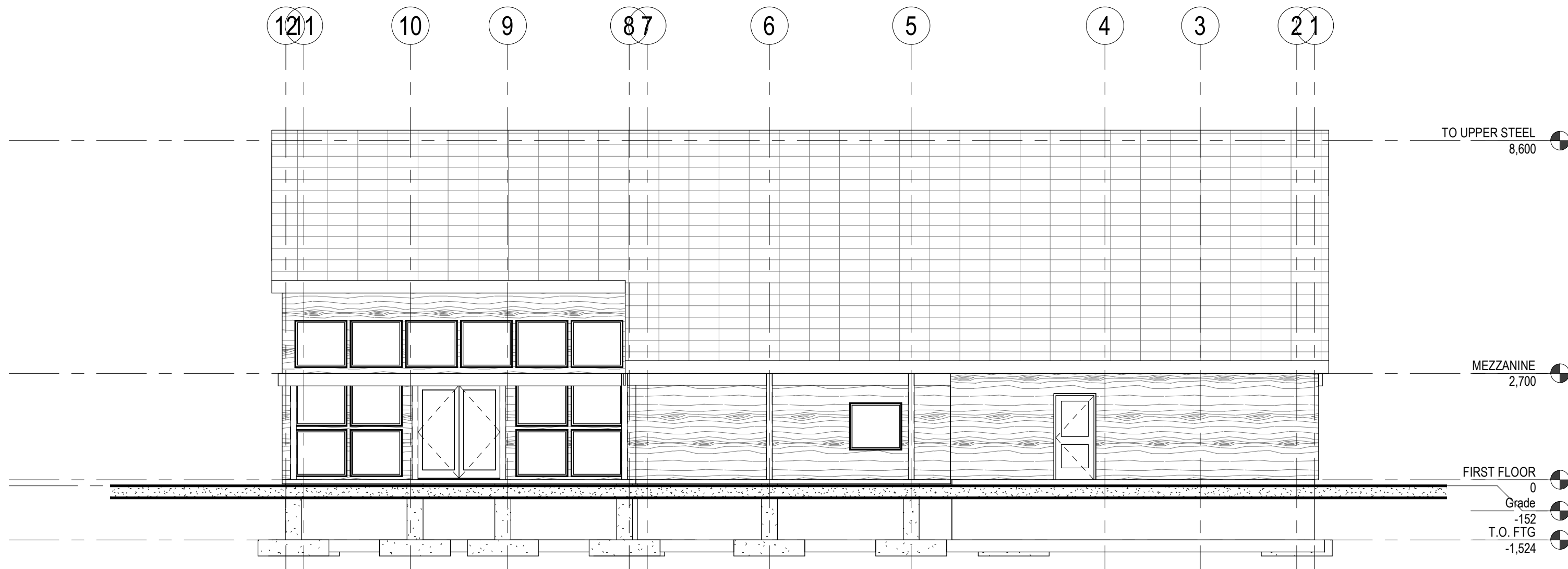
CW1 STOREFRONT ELEVATION  
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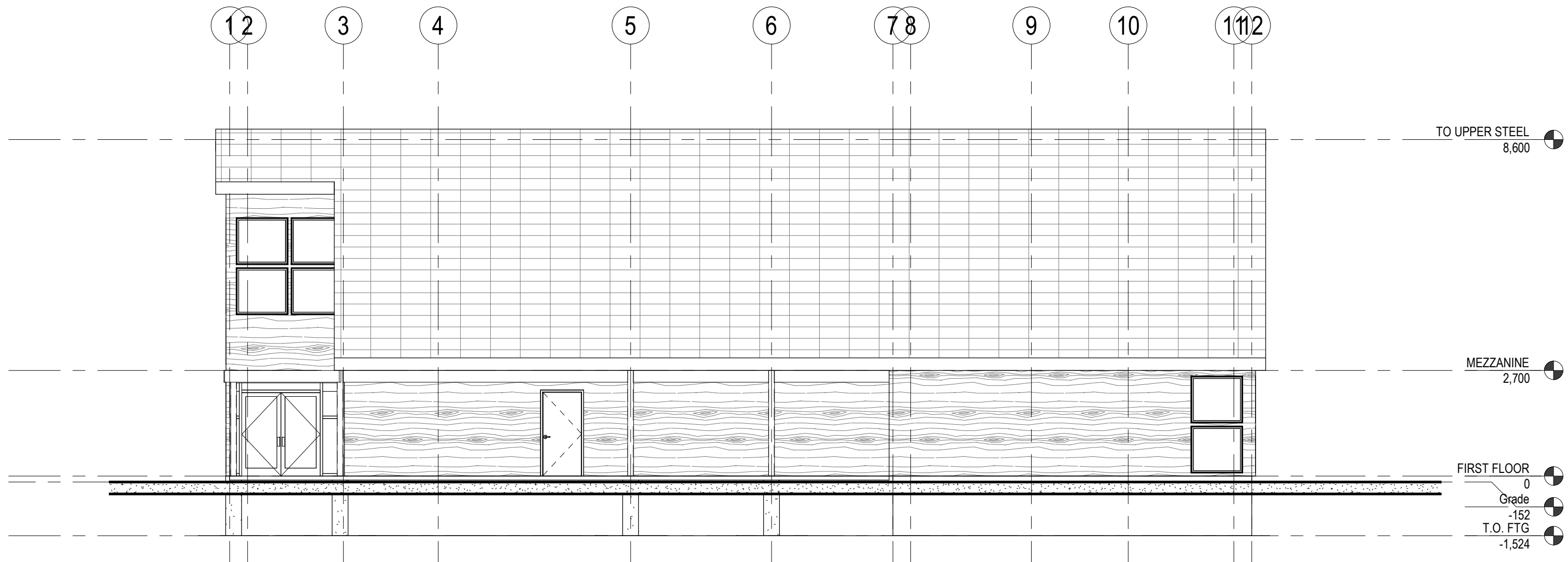
CW2 STOREFRONT ELEVATION  
SCALE: 1:50



W1 - WINDOW ELEVATION  
SCALE: 1:50



2 EAST ELEVATION  
SCALE: 1:100



4 WEST ELEVATION  
SCALE: 1:100

THIS LINE IS 4" LONG